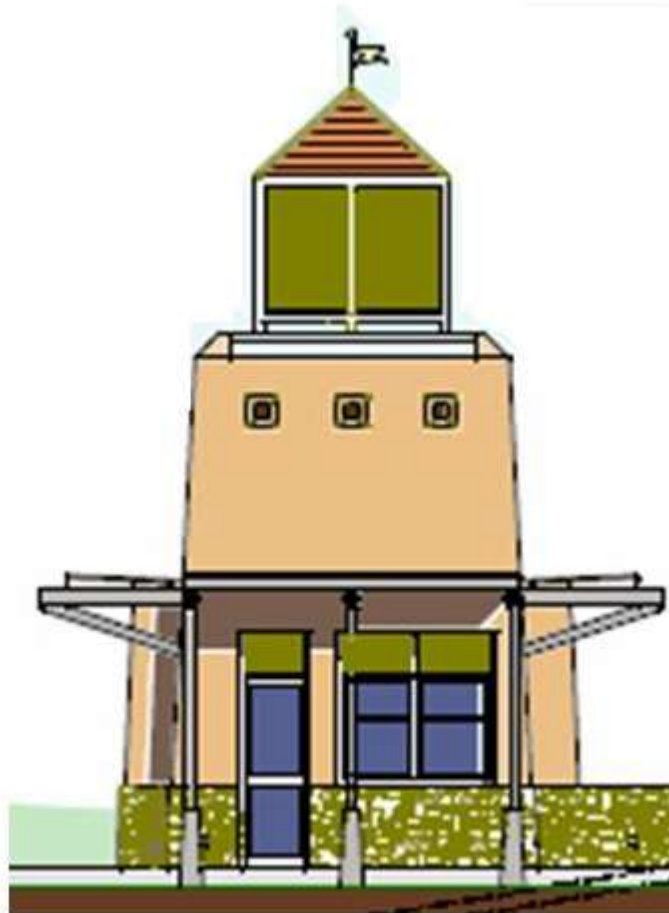


ADMIRAL ISLAND



ARCHITECTURAL DESIGN GUIDELINES

Revised February 2021



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1.0 INTRODUCTION

1.1 Background

- 1.1.1 Admiral Island is a unique coastal residential island development within the Port Owen Marina.
- 1.1.2 The purpose of design guidelines is not to restrict but to serve as a protective mechanism ensuring a coherent identity for the development as a whole.
- 1.1.3 The design guideline outlines the character of architecture to be one of restraint, clean and uncluttered surfaces, and simple rectangular or composite rectangular plan forms.
- 1.1.4 It encourages the use of maritime elements such as balustrading, decks and pergolas. The use of regional rustic material e.g., stone is also suggested.



2.0 REGULATORY DEFINITIONS

2.1 HOA

2.1.1 HOA means Admiral Island & Pelican Bay Home Owners Association

2.2 OWNER

2.2.1 Owner means the registered owner of any erf on Admiral Island or Pelican Bay

2.3 MANAGING AGENT

2.4 Managing Agent shall mean the company or person doing the administration of the Admiral Island & Pelican Bay development on behalf of the HOA.

2.5 CONTROLLING ARCHITECT

2.5.1 The Controlling Architect means the registered architects appointed by the HOA who shall act as adjudicators to approve proposed building work in terms of the aesthetic requirements and these design guidelines. The appointed adjudication architects are:

Name	:	Tiaan Botha
Practice	:	A and D Studios (PTY)Ltd
Adress	:	1202 The Blouberg Strand Blouberg 7441
Phone No	:	021 5545897
Mobile No	:	082-5794131
E-mail Address	:	tiaan@adstudios.co.za

2.5.2 AUTHORITY

2.6 Local Authority means the Bergrivier Municipality.

2.6.1 GUIDELINES

2.6.2 The architectural guidelines is drawn up in accordance with the original Deed of Sale which stipulates that no building, boundary walls or other structures may be erected on the property save in accordance with the HOA's architectural guidelines and/or prior to the written consent of the Controlling Architects thereto has been obtained. The plans of all buildings and/or structures to be erected on the property must be submitted to the Controlling Architects for their approval. Building operations may not proceed before the Controlling Architects have endorsed the plans and no building and/or structure shall be erected save strictly in accordance to such an approved plan.

The guidelines have been compiled to regulate the development of the erven on Admiral Island and Pelican Bay, in an orderly manner to protect the sensitive nature of the site for the mutual benefit of the owners.



The guidelines must be read in conjunction with the National Building Regulations. In the event of a contradiction in these requirements, the more restrictive stipulation shall apply.

This guideline is incorporated in the constitution of the Admiral Island & Pelican Bay Home Owners Association and is binding on all present and future owners. Each property owner has a legal obligation to inform successors in title to their property of the existence of the architectural guidelines and the rules to which they shall adhere.

For new building projects, the current revision of the guidelines will be applicable. The fact that previous building projects have deviated from the guidelines will not entitle new building projects to do the same. (Rev 8, Dec 2017)

2.7 **DWELLING UNIT**

2.7.1 Means the primary structure to be erected on each erf.

2.8 **ATTIC**

2.8.1 Attic means that portion of the roof space that is adapted to be used as habitable living space. This area shall be taken into consideration as floor space for the purposes of floor space restrictions.

2.9 **LOFT**

2.9.1 Loft means that portion of the roof space that is adapted to be used as non-habitable living space. This area shall not be taken into consideration as a storey for the purposes of height restrictions or floor space, as long as the building falls within the height restriction as applicable. This space may only be visible from the water's edge.

2.10 **GROUND FLOOR**

2.10.1 Ground floor means the lowest floor of a building, which is not a basement.

2.11 **BASEMENT**

2.11.1 The basement is the lowest level of a three-storey house. Basements may not have windows or doors that are visible from the side boundaries. (Rev1, May 2012)

2.12 **CELLAR**

2.12.1 A cellar is a non-habitable space below the ground floor or basement and may not be seen from any side.

2.13 **COVERAGE**

2.13.1 Coverage means the total percentage area of the site that is covered by buildings measured over the outside walls and covered by a roof or projection. An eave overhang or other projection of maximum 1m wide shall be excluded in the calculation of the permissible coverage.

2.14 **MEAN SEA LEVEL**

2.14.1 Mean sea level means the level indicated on the Admiral Island Bridge.



2.15 **BUILDING LINE**

2.15.1 Building line means the line delimiting the area measured from the boundary of a land unit within which no building or other structure except a boundary fence may be erected except with the prior express written approval of the HOA and the Bergrivier Municipality.

2.16 **STREET BOUNDARY**

2.16.1 Street boundary means the boundary of a site or a land unit, which is also its boundary with a street.



3.0 PROCEDURE FOR PLAN APPROVAL

- 3.1 All proposed development is to be approved by the HOA before any building work may commence. The applicant shall formally apply for the approval of plans in accordance with the architectural guidelines.
- 3.2 All plans for the construction of buildings or alterations to buildings must be prepared by a person suitably qualified for the proposed building and who is registered with the South African Council for the Architectural Profession.
- 3.3 Prior to the submission of formal plans, stand owners must submit sketch drawings to the HOA for approval in principle of the design concept. Sketch drawings need to contain the site drawing, including building lines; window schedule and all elevations to enable the HOA to get a view of the proposed building. Allow +/- 5 business days for this initial check. (Rev 12, June 2019)



Once the sketch drawings have been approved, the owner must submit the final plan for approval (One copy only) to one of the Controlling Architects. The plan shall include the following:

- Site plan
- Floor plans
- Elevations
- Sections, showing heights of building, natural ground line and height restriction lines
- Windows and door schedule (Rev 11, February 2019)
- Proposed external finishes and colour scheme
- Form "Application for approval of building plans" completed and signed by owner
- Any other relevant information required by the Controlling Architects
- Driveway



- Building Lines
- Location of retaining structures
- External lights

3.4 On approval of the proposed development plan, the owner is to supply a further 5 copies of which one must be coloured in. The Controlling Architects shall endorse the approval on the drawings, retain one copy for their own record and return the other copies to the applicant for submission to the HOA for endorsement. The HOA will keep one copy for their records.

3.5 The owner can then hand the final three copies in at the Bergrivier Municipality. (Please note that the Bergrivier Municipality will not pass a plan without the HOA stamp of approval.)

3.6 A fixed perusal fee is to be paid to the Controlling Architect upon submission of the proposed building work. The fee allows for two submissions of the proposed plan and the final compliance inspection after the building has been completed. Please allow up to 10 business days for each inspection of the plans. (Rev 12, June 2019)

The approved plans will only be handed over to the applicant once the perusal fee has been paid.

If the plan is not approved after the two submissions the perusal fee for any perusal thereafter will be the time charge per hour or part thereof for Principals in accordance with the fee scale as recommended by the South African Council for the Architectural Profession (Act No 44 of 2000).

3.7 The approval, or non-approval, by the HOA and the Controlling Architects of any proposed building work is final and binding by agreement.

3.8 Any dispute will be referred for arbitration by an arbitrator appointed by the President of the Association of Arbitrators.

3.9 At any stage of the building work the HOA may request from the owner, a certificate from a registered land surveyor stating the final height of the building in relation to the boundary pegs. The surveyor must also certify that the building conforms to the relevant height restrictions.

3.10 Upon completion the Controlling Architect, together with the Island Manager, shall submit a certificate of compliance with the requirements of these Guidelines. The Bergrivier Municipality will not issue an Occupation Certificate without this certificate of compliance being submitted to them. (Rev 15, January 2020)

3.11 Any new or alteration building work to the exterior of a property must be approved by the HOA. (Rev 15, January 2020) The HOA reserves the right to halt any building work not approved in advance and to have any building or



structure, not in accordance with the approved drawings, demolished and removed at the cost of the owner.

- 3.12 Upon change of ownership of the property a clearance certificate will be needed to register the property in the new owner's name. No such certificate shall be issued by the HOA when the improvements on the property do not comply with the plans as approved by the HOA. (Rev 3, Jan 2016)

4.0 CONDUCT OF BUILDING WORKS

- 4.1 Builders are required to register with the Island Manager before any site work (including any project expected to last longer than a week) may be commenced with. This procedure is described in the Builders Regulations Contract.
- 4.2 A Builders Regulation Contract must be signed and builders deposit is payable.
- 4.3 A building deposit will be required for any project that would normally require Municipal plan approval (Rev 11, Feb 2019)
- 4.4 Contractor activity is only allowed during the following time hours:

Normal weekdays 08h00 - 18h00 (Rev 6, March 2017)

No contractor activity is permitted on Saturdays (Rev 7, February 2021), Sundays and Public Holidays and the annual builders' holiday as determined by the HOA without special written permission from the Home Owners Association.

Construction of houses in the estate shall be completed within twelve months of commencement of construction. The date of commencement shall be determined when the builder has access to the site or when materials are delivered. Owners may seek condonation of the twelve-month period from the HOA in writing stating valid reasons. (Rev 2, October 2013)

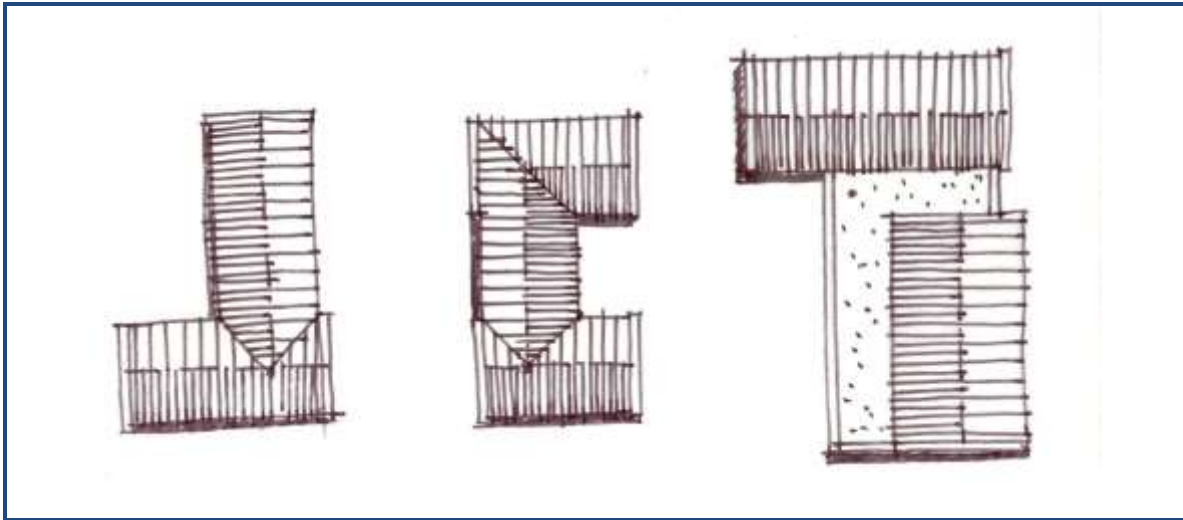


5.0 DESIGN GUIDELINES

5.1 RESTRICTIONS

5.1.1 Plan shape

5.1.1.1 Plan forms must be rectangular or composite rectangular forms.

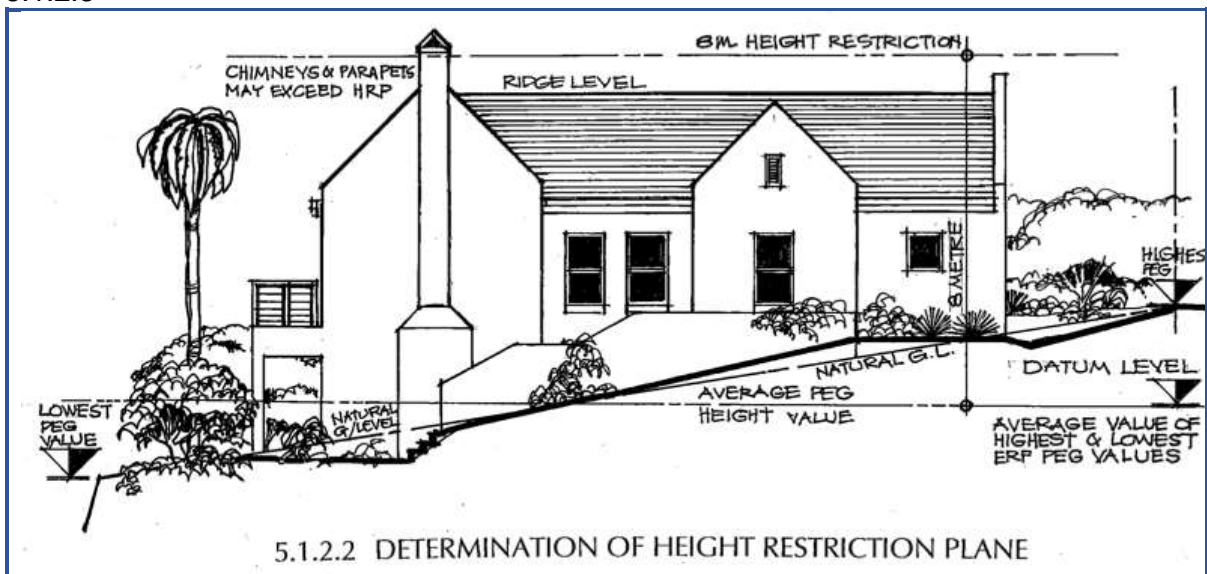


5.1.2 Maximum Height restriction

5.1.2.1 The height restriction is governed by the average ground level of the stand.
(Rev 1, May 2012)

5.1.2.2 The horizontal height restriction plane is 8m above the average height between the highest and lowest corner peg and the roof ridge may not exceed this height.
(Rev 1, May 2012)

5.1.2.3





- 5.1.2.4 A basement will be permitted on sites with a steep gradient. The basement may not have windows or doors visible from the sides.



5.1.3 **Building Lines**

- 5.1.3.1 The applicable building lines can be obtained from the Bergriver Municipality. (Rev 8, Dec 2017)

5.1.4 **Encroachments**

- 5.1.4.1 No encroachment over any building lines will be entertained, unless approved by the Municipality. (Rev 8, Dec 2017)

5.1.5 **Size of dwelling**

- 5.1.5.1 The minimum size of any dwelling is 180m² including a single or double garage.

5.1.6 **Coverage**

- 5.1.6.1 Coverage is defined as the area of the footprint (measured over the walls) of a roofed structure.

- 5.1.6.2 The maximum permissible coverage is 50% of the total erf size.

5.1.7 **Maximum floor area**

- 5.1.7.1 A basement (3rd storey) is permitted on condition that it does not have windows or doors visible from the side elevations.

- 5.1.7.2 On steep sloping erven, the basement may have windows or doors facing the water's edge. The basement may not be identified as a 3rd floor from the side elevations.



- 5.1.7.3 On erven greater than 1000m², the area of the top floor of a double storey house may not exceed 50% of the area of the ground floor (e.g. 500m² ground floor = 250m² maximum on first floor).
- 5.1.7.4 On erven between 800m² and 1000m², the area of the top floor of a double storey house may not exceed 65% of the area of the ground floor. (e.g. 400m² ground floor = 260m² maximum on first floor) (Rev 7, June 2017)
- 5.1.7.5 On erven 800m² and smaller the area of the top floor of a double storey house may not exceed 80% of the area of the ground floor (e.g. 400m² ground floor = 320m² on first floor).
- 5.1.7.6 An attic will be considered as a 2nd floor. Floor space gained in this manner is included in the calculations in clauses 5.1.7.4 & 5.1.7.5.
- 5.1.7.7 Lofts are not considered as a floor and will not be included in the floor space calculations.
- 5.1.8 **Double volumes**
- 5.1.8.1 The area of a double volume may not exceed 20% of the floor area of the ground floor. If the floor area exceeds the limitation the excess floor area will be added to the first-floor area.
- 5.1.9 **Minimum Height**
- 5.1.9.1 The HOA has reason to believe that there is a legislative requirement that the minimum floor height of a building may not be lower than 2 meters above Mean Sea Level (MSL). A MSL (Mean Sea Level) reference point is clearly marked on the bridge and while the Bergrivier Municipality presently do not enforce this requirement the HOA encourages owners to build to this level as a minimum height.



5.2 **ROOFS**

5.2.1 **Pitched roofs**

5.2.1.1 Roofs to be pitched between 30° - 45°, consistent for any single design.

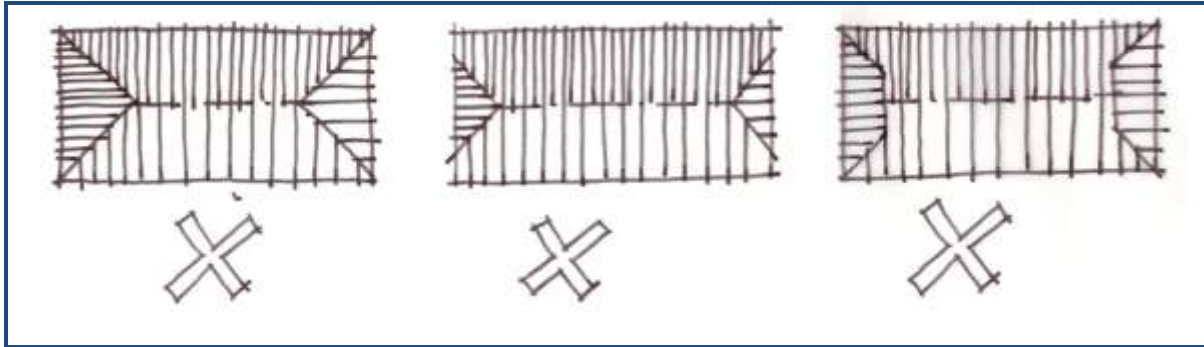


5.2.1.2 Pitched roofs must have parapet gable ends or gable ends with barge boards.





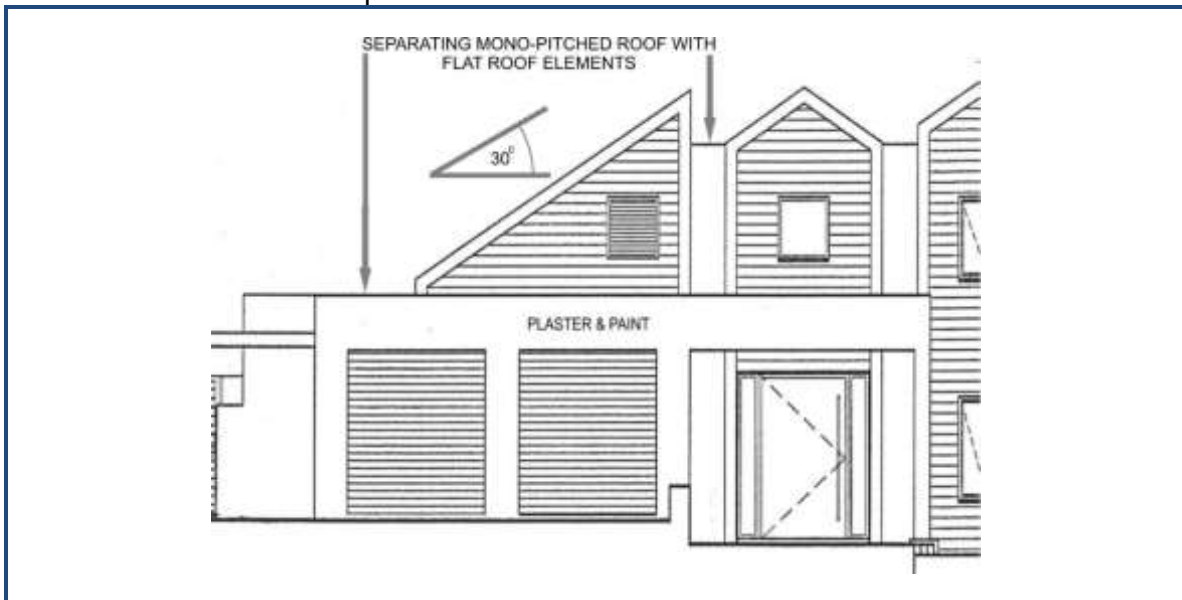
5.2.1.3 Roofs to be pitched between 30° - 45° , consistent for any single design. Hipped roofs, wolf nose gable ends or gable-hipped combination roofs are not permitted.



5.2.1.4 Only Coverland “Elite” tiles, or similar and approved flat concrete or clay roof tiles, may be used. The colour shall be “Farmhouse Terra Cotta” (to match that of the gate house).

5.2.2 **Mono pitch roofs**

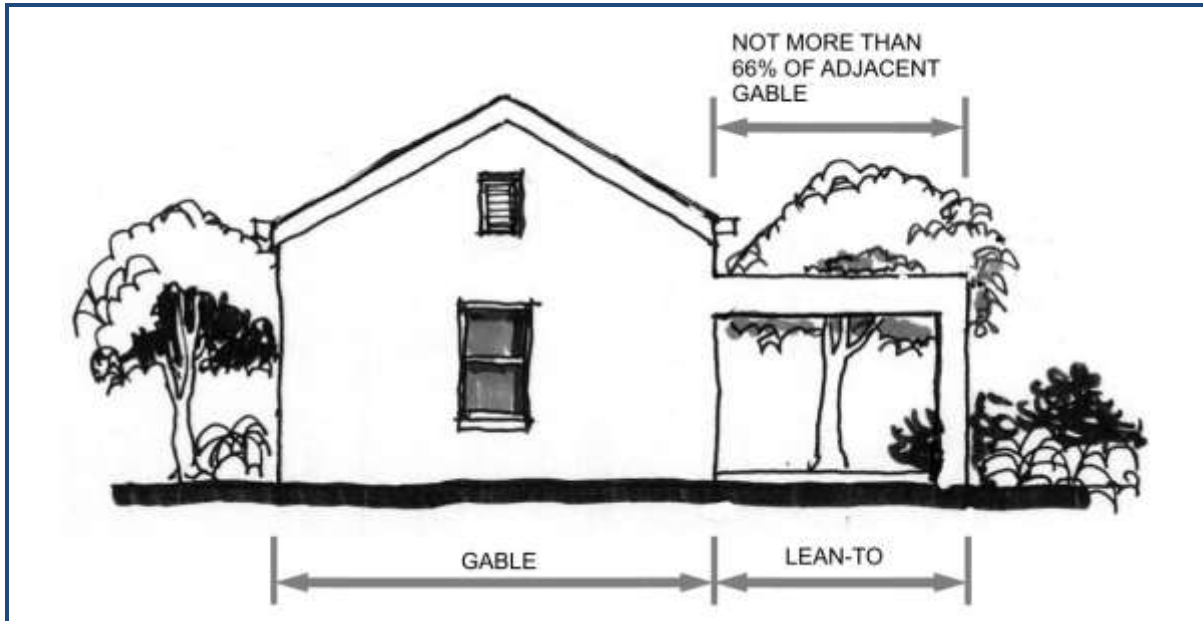
5.2.2.1 Roofs to be pitched between 30° – 45° . The area of these roofs may not exceed 75% of total areas of the pitched roofs. The roof finish, gable ends and roof trim to match that of the pitched roofs.



Mono pitch roofs between 30° - 45°



5.2.2.2 The gable width of lean-to roofs may not exceed 66% of the main gable roof.



5.2.2.3 The combination of a pitched and mono-pitched roof shall be separated with a flat roof.



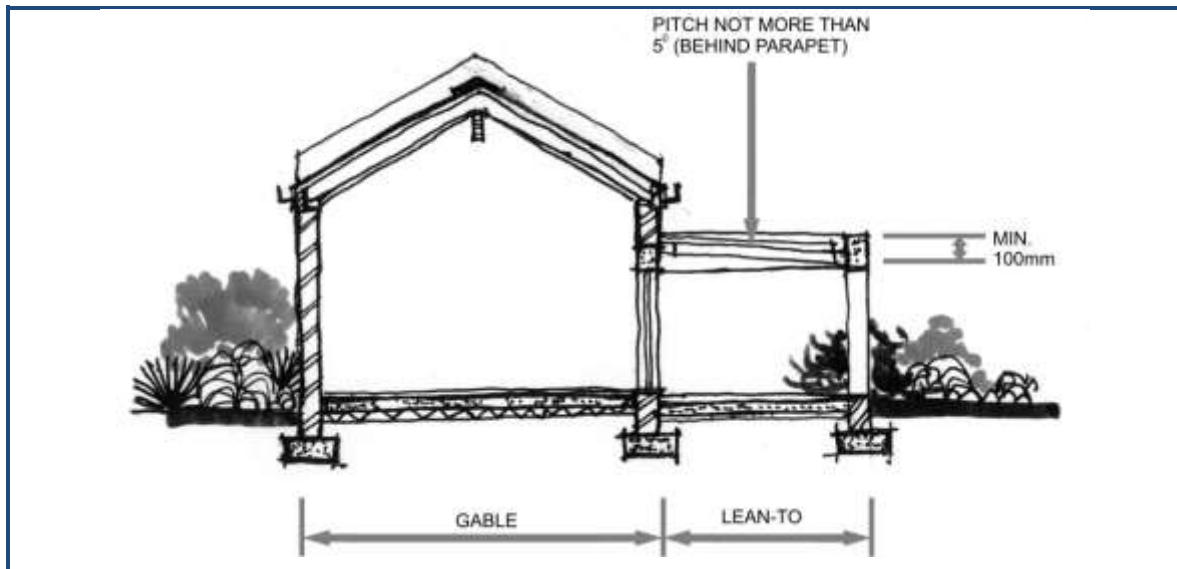
Separating mono-pitched roof with flat roof elements



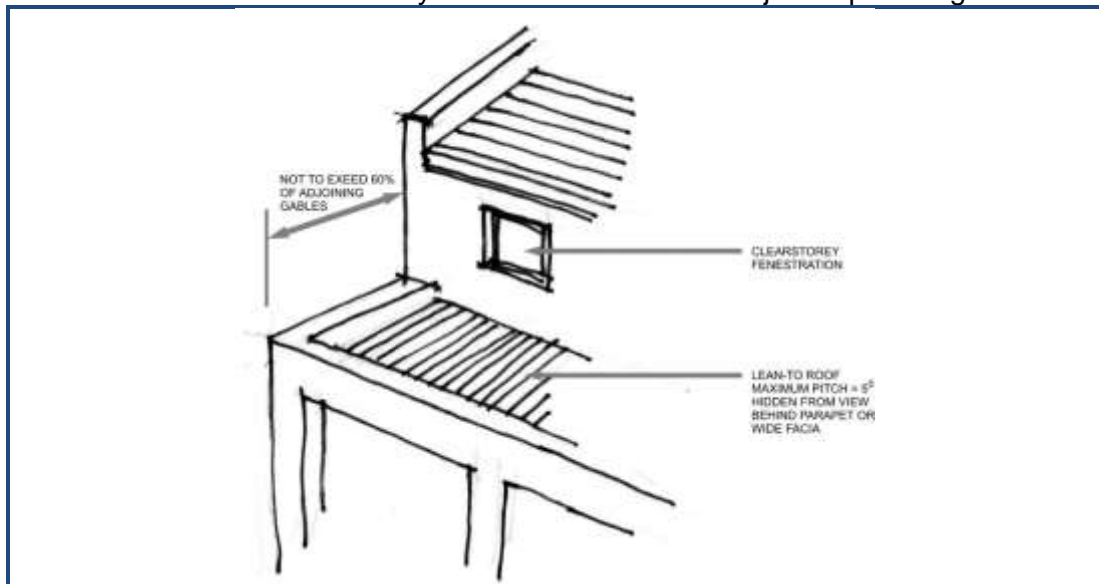
5.2.3 **Lean-to roofs**

5.2.3.1 Roofs to have a maximum pitch of 5° and to be hidden behind a parapet wall or a fascia board in order to screen-off the corrugated edge of the roof. Side parapets must be level and may not follow the slope of the roof. Steps are permitted in the side parapet walls. The concept of parapets as simple wall extensions is encouraged

5.2.3.2 Lean-to roofs are to be a minimum of 100mm below the fascia board or gutter.



5.2.3.3 The width of lean-to roofs may not exceed 66% of the adjacent pitched gable width.





5.2.4 **Flat roofs**

5.2.4.1 Flat roofs may only be 20% of the total roof area.

5.2.4.2 Flat roofs must be hidden behind parapet walls or concrete beams. The parapet wall may not be higher than 300mm above the highest point of the flat roof behind the parapet.



5.2.4.3 Flat roofs may be used to link building forms.

5.2.4.4 Metal or polycarbonate roof sheets. Colour to match the roof tiles.

5.2.5 **Roof lights**

5.2.5.1 Roof lights may be of the fixed or openable type.

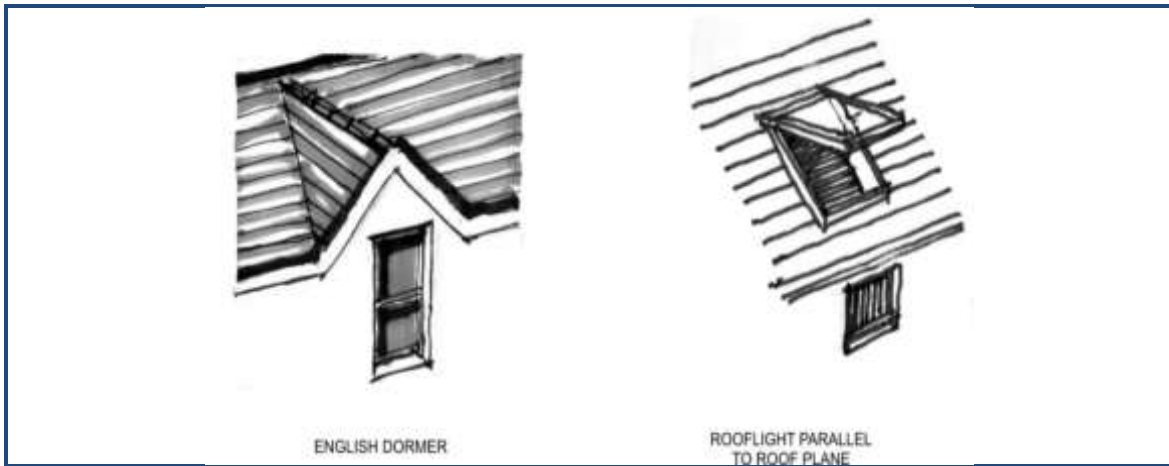
5.2.5.2 Roof lights must be parallel to the roof plane.

5.2.5.3 On flat roofs, the top of the roof light may not project more than 300mm above the parapet.



5.2.6 **Dormer windows**

5.2.6.1 Dormer windows are allowed in the pitched and mono-pitched roofs and must be triangular or rectangular in shape.



5.2.6.2 The gable end of dormers may be cladded with handiplank or utilized as roof ventilators.



5.2.6.3 Dormers must be spaced apart and may not be attached.

5.2.6.4 Dormers may not project beyond the vertical surface of the wall.



5.2.7 **Gables**

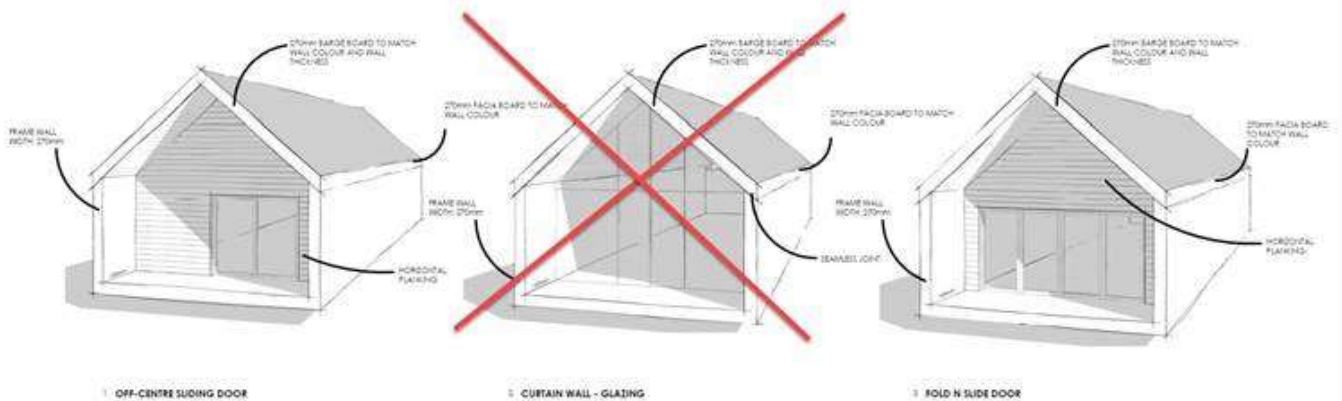
5.2.7.1 Gable ends must be of a simplistic design and may not exceed 7m in width.



Gable ends not to exceed 7m

5.2.7.2 Gables must be triangular in shape. No curved or decorative gables will be permitted.

5.2.7.3 Framed gable ways are allowed, with a maximum overhang of 1.5 meter. A fold in sliding door or off center sliding door will be acceptable behind the gable way, whereas a 'glass curtain wall' is not allowed.





5.2.8 **Eaves**

5.2.8.1 Eave overhangs are limited to 150mm maximum. Clipped fascias and barge boards are preferable.

5.2.8.2 Barge boards and fascias can be timber or flat fibre or moulded cement and must be painted.

5.2.9 **Gutters and rain water pipes**

5.2.9.1 Gutters to be profiled seamless aluminium epoxy coated (like Watertite).

5.2.9.2 Rain water pipes to be round or square.

5.2.9.3 Gutters are not a requirement.

5.2.9.4 Chain may be used as downpipes.

5.2.10 **Forbidden products**

5.2.10.1 IBR, Onduline or any fibre cement roof sheets

5.2.10.2 Fibre cement ridge cappings.

5.2.10.3 Fibre cement and pvc gutters

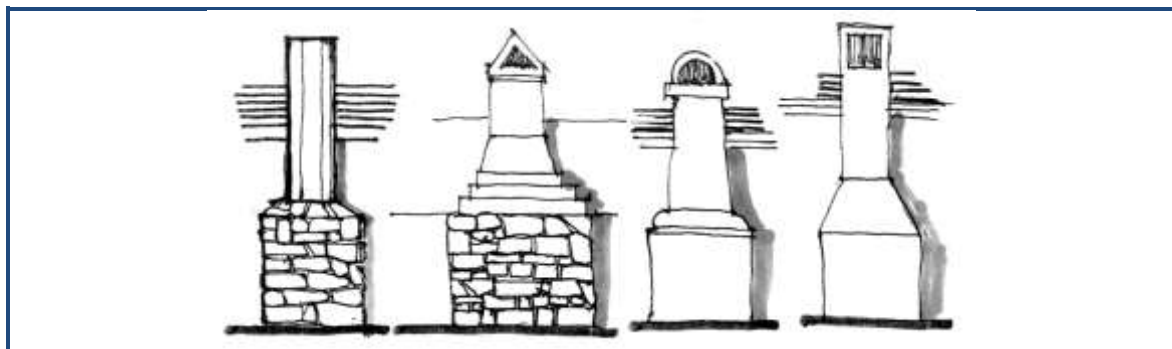
5.3 **CHIMNEYS**

5.3.1 **Stacks**

5.3.1.1 The chimney stack can be in plastered masonry or dressed in stone.

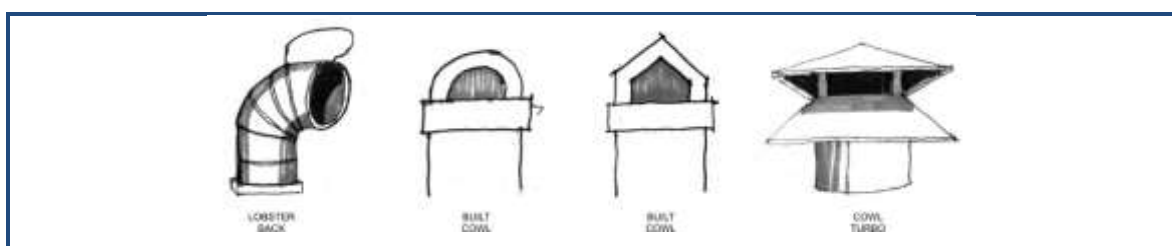
5.3.1.2 The stack can be square or be tapered to the top.

5.3.1.3 The chimney could be expressed as a round fibre cement or 316 stainless steel pipe growing from a solid masonry or stone dressed base.



5.3.2 **Cowls**

5.3.2.1 Cowls could be expressed as one of the following but standard rotating cowls will be allowed:





5.3.3 **Forbidden products**

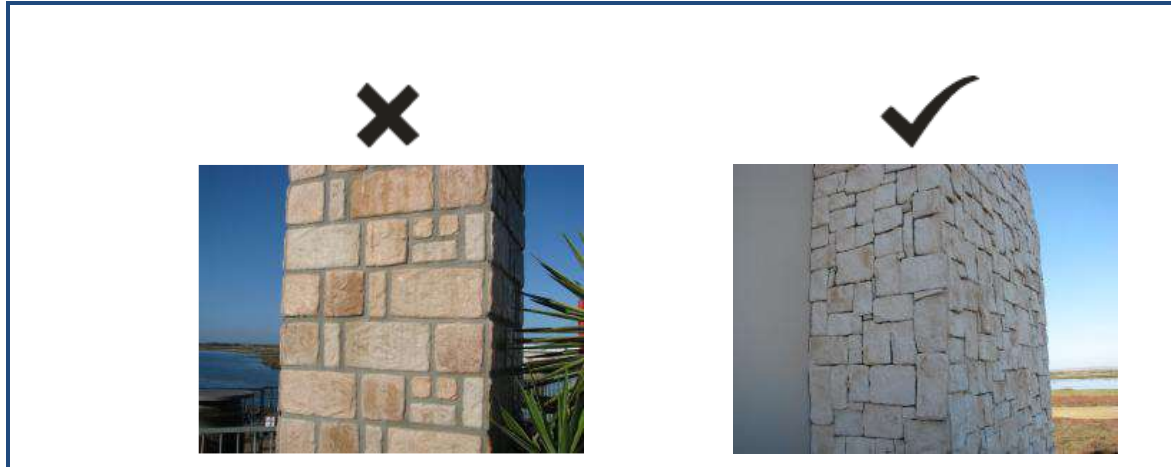
- 5.3.3.1 Exposed standard metal flue pipes.
- 5.3.3.2 Moulded or curved chimney stacks.

5.4 **WALLS**

5.4.1 **Construction**

- 5.4.1.1 Walls must be constructed in clay or cement bricks. Concrete blocks are not permitted.
- 5.4.1.2 External wall surface to be straight, plain and without ornate decoration.
- 5.4.1.3 Walls must be plastered, smooth or with an approved textured plaster such as Marmoran, flattened stipple plaster or vertical brush plaster.
- 5.4.1.4 Dry pack stone may be used on the plinth of buildings to a maximum height of 1,5 meters or to express building elements such as columns & chimney stacks. Stone may not be used as a decorative element, for instance around doors, windows, coining on building corners, etc. Stone colour to match that on the entrance gate house.
- 5.4.1.5 Only real stone or the following imitation stone is permitted:

- Revel stone : Ridgestone random, Viking Random
- Cemstone : Dry Stack Cladding



5.4.2 **Horizontal planking**

- 5.4.2.1 Shiplap planking is permitted but may not exceed 60% of the total house façade. If applied to a gable it is encouraged to clad the entire gable.
- 5.4.2.2 The planking can be in timber or flat fibre cement. The width of the planks is restricted to 150mm maximum.
- 5.4.2.3 The planks must be painted in the colour to match the plastered external walls.

5.4.3 **Forbidden products**

- 5.4.3.1 Timber framed structures
- 5.4.3.2 Timber log construction
- 5.4.3.3 Face brick construction
- 5.4.3.4 Decorative plaster (such as Spanish or rough plaster)

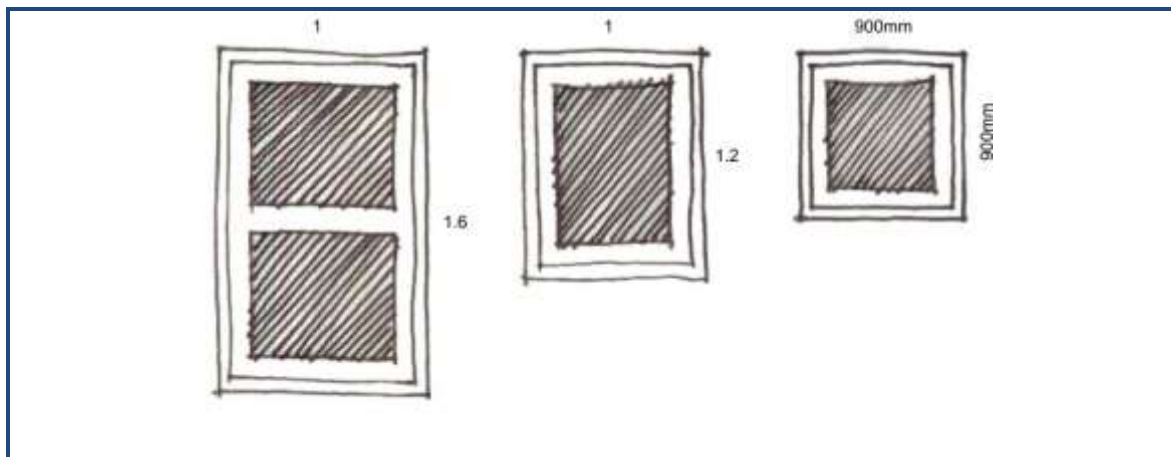


- 5.4.3.5 Bagging of external walls
- 5.4.3.6 Any exposed cement joints or "pointed" stone work

5.5 **WINDOWS**

5.5.1 **Window proportions**

- 5.5.1.1 Windows should be square or rectangular (higher than wide) in shape – it is important to note that all sections of the windows need to be vertical in its proportions, with the exception of separate square windows as per item 5.5.1.2 (Rev. 12, June 2019) and cases where the height of the window does not allow for the verticality aspect is more than 1.6m as described in section 5.5.1.5 (Rev. 14, November 2019)
- 5.5.1.2 Maximum size for square windows is 900 x 900mm (no subdivisions).
- 5.5.1.3 The recommended width to height proportion is 1:1,6m (one horizontal subdivision).
- 5.5.1.4 The minimum width to height proportion is 1:1,2m (no subdivision).
- 5.5.1.5 A maximum of one subdivision is allowed for windows complying to the overall vertical dimensions as described in item 5.5.1.1 (Rev. 14, November 2019)
- 5.5.1.6 Larger glass areas are permitted but restricted to 3,2m wide. If the window size changes the proportions described in 5.5.1.3, subdivisions should be added as described in 5.5.1.8, to ensure all window panes maintain verticality. (Rev. 12, June 2019)
- 5.5.1.7 The proportion and style of window should be consistent throughout the building.
- 5.5.1.8 Subdivisions in windows must be a minimum of 80mm. (Rev. 12, June 2019)
- 5.5.1.9 Window types: Top hung, casement or sash.
- 5.5.1.10 Only transparent burglar bars are allowed.



5.5.2 **Material and finish**

- 5.5.2.1 Aluminium, uPVC or timber may be used
- 5.5.2.2 Windows to be painted or epoxy coated
- 5.5.2.3 Colour: White, charcoal, black or to match the wall colour

5.5.3 **Forbidden products**

- 5.5.3.1 Steel windows
- 5.5.3.2 Cottage panes
- 5.5.3.3 Arched windows



5.6 **EXTERNAL DOORS**

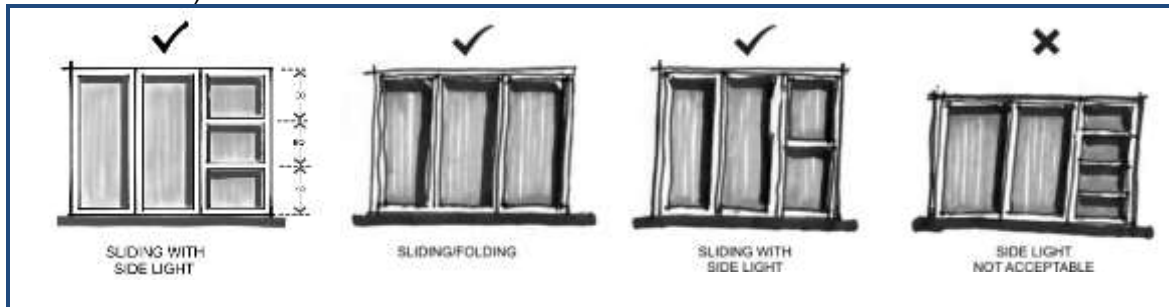
5.6.1 **Door proportions**

5.6.1.1 Single door : Maximum width 1,0m

5.6.1.2 Double door : Maximum width 1,6m

5.6.1.3 Front door : Maximum width 1,6m

5.6.1.4 Larger doors may be used but restricted as follows - up to 3,2m wide is allowed provided the concept of verticality is maintained in all sections of the sliding door. Greater than 3,2m wide must be set back 1,0m minimum behind a pergola or verandah. Doors can be a combination of swing doors, sliding doors or frameless glass doors. (Rev. 12, June 2019). If a sidelight is added to a sliding door, the maximum allowed subdivisions are 2, i.e. 3 smaller windows distributed equally through the height of the window (Rev. 14, November 2019) (Rev 16, August 2020)



5.6.1.5 Pivot doors are permitted.

5.6.1.6 Security gates at external doors are allowed only at the inside of the door. (Rev 16, August 2020)

5.6.2 **Material and finish**

5.6.3 Aluminium or timber may be used.

5.6.4 Doors to be painted or epoxy coated or varnished.

5.6.5 Colour: White, charcoal, black or to match the wall colour

5.6.6 **Forbidden products**

5.6.6.1 Steel casement doors

5.6.6.2 Cottage panes

5.6.6.3 Arched doors

5.6.6.4 Ornate doors

5.6.6.5 Fan lights or glazing above doors

5.7 **GARAGE DOORS**

5.7.1 **Door proportions**

5.7.1.1 A maximum of 4 garages are permitted.

5.7.1.2 No more than 2 doors may face the street.

5.7.1.3 A 3rd garage may face the street provided its set back 1,0m from the other 2 garage doors and screened behind a pergola.



- 5.7.1.4 If a 3rd and 4th garage is built or only a 4th garage, these garages doors may not face the road.
- 5.7.1.5 All garage door heights must be equal.
- 5.7.1.6 Style of garage doors to be horizontal planking system (not vertical, diagonal or panels).

5.7.2 **Material and finish**

- 5.7.2.1 Timber doors to be painted
- 5.7.2.2 Aluminium and steel doors to be epoxy coated
- 5.7.2.3 Colour: White, charcoal, black or to match the wall colour

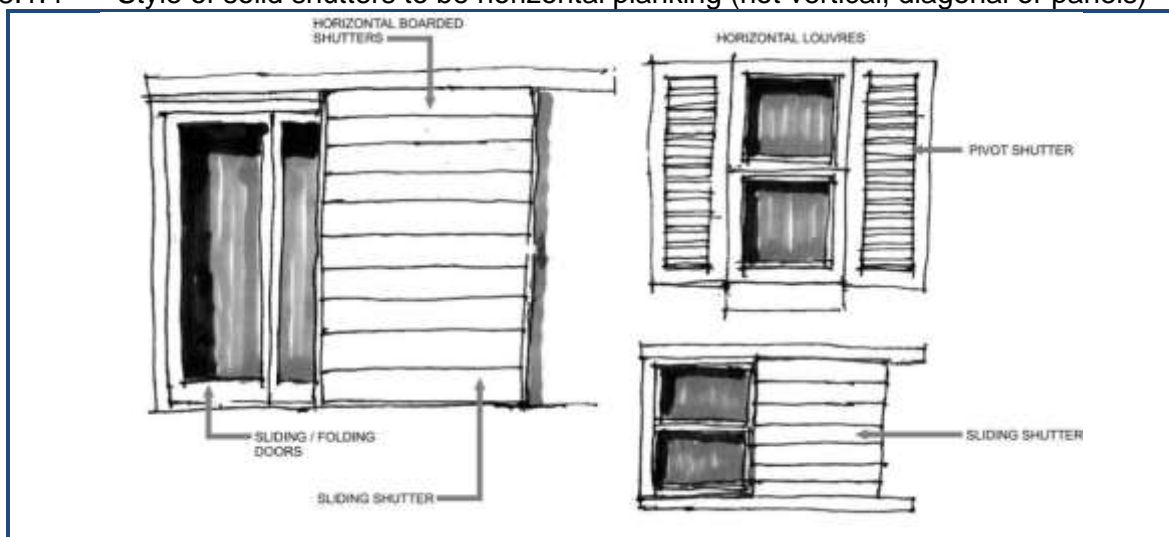
5.7.3 **Forbidden products**

- 5.7.3.1 Ornate raised patterns
- 5.7.3.2 Glass fibre doors
- 5.7.3.3 Glass doors
- 5.7.3.4 Roller shutter

5.8 **SHUTTERS**

5.8.1 **Shutter proportions**

- 5.8.1.1 Proportions should reflect that of the windows and doors
- 5.8.1.2 Shutters may be sliding, folding or hinged
- 5.8.1.3 Shutters may be louvered or solid
- 5.8.1.4 Style of solid shutters to be horizontal planking (not vertical, diagonal or panels)



5.8.2 **Material and finish**

- 5.8.3 Timber louvers to be painted
- 5.8.4 Aluminium louvers to be epoxy coated
- 5.8.5 Colour: To match the window and door colour

5.8.6 **Forbidden products**

- 5.8.6.1 Mock shutters
- 5.8.6.2 Arched shutters



5.8.6.3 Ornate shutter

5.9 **VERANDAHS, PERGOLAS & CARPORTS**

The placement of carports are important to ensure the aesthetics of the development and will therefore be included in the scrutiny by the architects. (Rev 12, June 2019)

5.9.1 **Construction**

- 5.9.1.1 Pergolas and verandahs are encouraged to create deep shaded areas.
- 5.9.1.2 Pergolas and verandahs on ground floor and carports to be on timber, plastered brick piers or concrete columns. (Rev. 12, June 2019)
- 5.9.1.3 Pergolas and verandahs on upper floor balconies can be on timber, steel or brick/concrete columns.
- 5.9.1.4 Pergola, verandah and pergola rafters can be in timber, steel or aluminium. (Rev. 12, June 2019)
- 5.9.1.5 Brackets to be concealed if possible. Designed brackets can be exposed.

5.9.2 **Material and finish**

- 5.9.2.1 Timber can be left natural or be painted.
- 5.9.2.2 Aluminium must be epoxy coated.
- 5.9.2.3 Steel must be galvanized and painted.
- 5.9.2.4 PVC products will be from Absolute Fencing or similar approved. (Rev. 17, February 2021)
- 5.9.2.5 The slats may be timber "latte", timber battens, aluminium louvers or stainless steel cables.
- 5.9.2.6 Colour: Natural timber varnished or stained, white, charcoal, or to match the wall colour.

5.9.3 **Forbidden material**

- 5.9.3.1 Scalloped rafter ends.
- 5.9.3.2 Shade cloth (Rev. 12, June 2019)

5.9.4 **Support Types**

- 5.9.4.1 Stone cladding columns minimum 500mm square.
- 5.9.4.2 Masonry support columns will be limited to a 300mm square dimension.
- 5.9.4.3 Double steel or timber posts with or without a 45 degree bracing detail at the top of the post.
- 5.9.4.4 Single steel or timber posts with or without a 45 degree bracing detail.
- 5.9.4.5 Verandahs posts and pergolas if painted must match the window and door colour of the dwelling.



6.0 BALUSTRADES, HANDRAILS AND ENTRANCE GATES

- 6.1 All balustrades, handrails and entrance gates to be of simple vertical or horizontal design.
- 6.2 No curved ornate balustrades allowed.
- 6.3 Balustrading to balconies will conform to National Building Regulations.
- 6.4 **Material and finish**
 - 6.4.1 Painted galvanised steel, Powder coated aluminium, Natural timber or painted timber, Polished stainless steel, Frameless glass, PVC make Absolute Fencing or similar approved. (Rev. 17, February 2021) or Polyester Silicon may be used.
 - 6.4.2 Colour: White, charcoal, black or to match the wall colour (rev 11, Feb 2019)
- 6.5 Balustrades may be one of the following designs.



SIMPLE HORIZONTAL ELEMENTS IN STAINLESS STEEL



SIMPLE VERTICAL ELEMENTS IN POLYESTER SILICON OR HARDWOOD TIMBER



7.0 RETAINING STRUCTURES

- 7.1 Retaining structures may be used. Any retaining structure in excess than 1m in height must be designed by a registered Professional Engineer.
- 7.2 No retaining structure will be higher than 1m. Should excavation exceed this height restriction then stepped terraces will be allowed with minimum 1 metre wide planters.
- 7.3 Banked Earth at 45 degrees may also be used. No banked earth retaining will be higher than 1.0m.
- 7.4 The following retaining structures will be allowed:
- Masonry or concrete retaining walls
 - Tanalithic treated poles
 - Earth retaining blocks
- 7.5 Where sites require the use of a combination of external steps and retaining walls, approved stone cladding retaining walls up to 1.0m high may be used.

Take note:
All retaining walls on waters edge to be designed by structural Engineer.

Option 1: 1000mm masonry wall

All retaining walls to be at least 3m from waterway edge.
Recommended height of retaining wall : 1000mm. Wall to be painted in earth tone colour as specified by the developer. [See option 1]

Option 2: 1.5m high Terra force retaining wall

A 1.5 m high terra force wall may be built a minimum 1.5m from waterway edge. Wall to be planted. [See option 2]

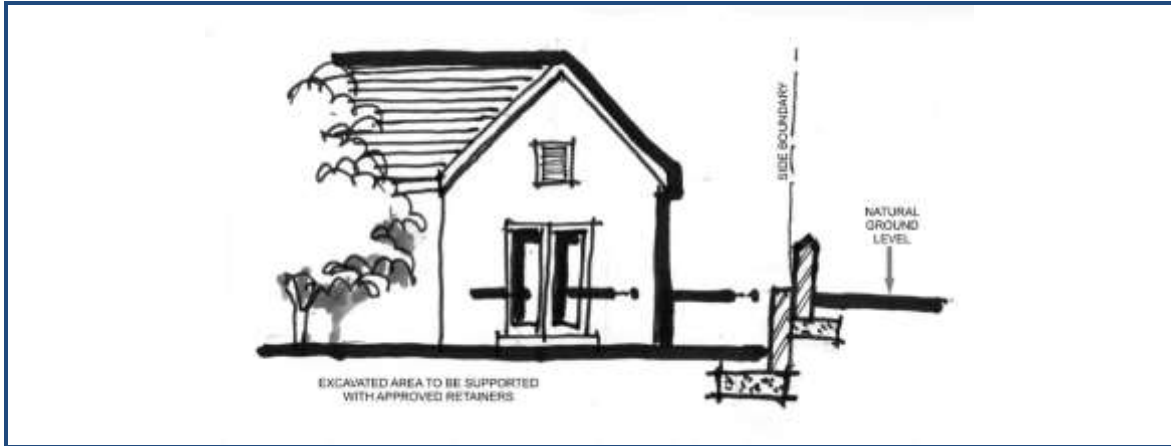
Option 3: 1.5m high masonry wall

Maximum height of wall : 1.5m. Wall to be painted in earth tone colour as specified by the developer. 750 mm planting to be provided on lower section to soften wall. [See option 3]

- 7.6 The natural ground level of adjacent site must be reinstated.



7.7 Retaining structures on side boundary walls.



- 7.8 Where earth retaining blocks are used for retaining structures it must allow for greening. (Minimum of 100mm at each step.)
- 7.9 A retaining wall may be constructed directly behind the canal wall provided that it does not allow for ground filling of more than 500mm above the existing natural ground level. Approval of both the HOA and the Bergrivier Municipality must be obtained before construction can commence. (Rev. 15, January 2020)



8.0 BALCONIES

8.1 General

- 8.1.1 No lean-to verandah or pergola is permitted in front of the balcony at ground level.
- 8.1.2 Balconies may be roofed with a verandah at 5 degrees pitch or a Pergola.

8.2 Balcony Supports

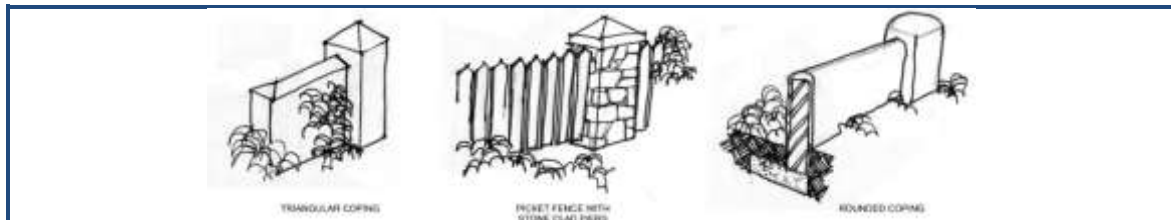
- 8.2.1 The supports for the balcony
 - Approved stone cladded piers
 - Plastered masonry piers
 - Double timber or painted double steel posts
 - Single timber or painted steel posts
- 8.3 The proportions between supports of the balcony must be vertical or square.



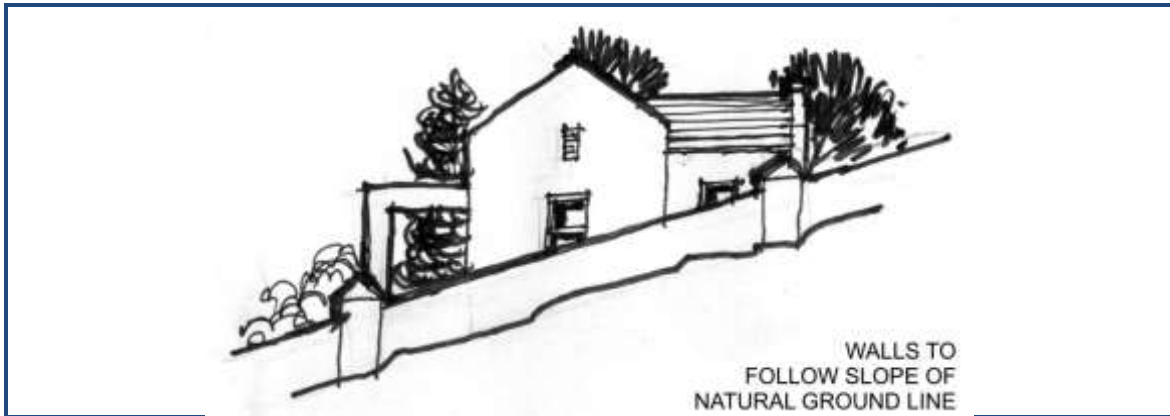


9.0 BOUNDARY WALLS / FENCES

- 9.1 As homes are situated within a security estate boundary walls are to be limited as much as possible.
- 9.2 The height of walls along street boundaries are limited to a maximum height of 1.2m to ensure a flow between private and public landscaped spaces.
- 9.3 From the street boundary, all return walls to be 1.2m in height between the street boundary and street building line. From the waterside to the building line the return walls can be 1.2m in height.
- 9.4 Between street building line and 3m waterway building line all common boundary walls between stands to not exceed 1,8m in height except for yard walls which may be 2,1m high.
- 9.5 Garden walls and fences are an important part of the visual aspect of the estate.
- 9.6 All walls to be plastered as per vertical wall detail.
- 9.7 To ensure privacy court yards and entertainment areas may be screened with walls 1,8m in height.
- 9.8 Screen walls should be similar to the basic materials and colours of the building.
- 9.9 No prefabricated concrete panel walls e.g. "Vibracrete" or ornate designed fences are allowed.
- 9.10 All walls, fences and gates to be indicated on plans for approval.
- 9.11 All top of walls to be square, triangle or round. (Rev 1, May 2012)



- 9.12 Where one erects a side boundary wall, that entire wall (both sides) will be plastered and painted.
- 9.13 Where a sloping site dictates the excavation and reinstating of the natural ground level of an adjacent site any such works must first be approved in writing by the HOA before excavations begin.
- 9.14 On sloping sites where overlooking can be shown to be a problem, special application may be made to the HOA.
- 9.15 On sloping sites masonry walls and fences will either follow the slope of the natural ground lines or be stepped in equal increments. (Rev 4, Aug 2016)



9.16 **Water frontage Boundary Walls / Fences**

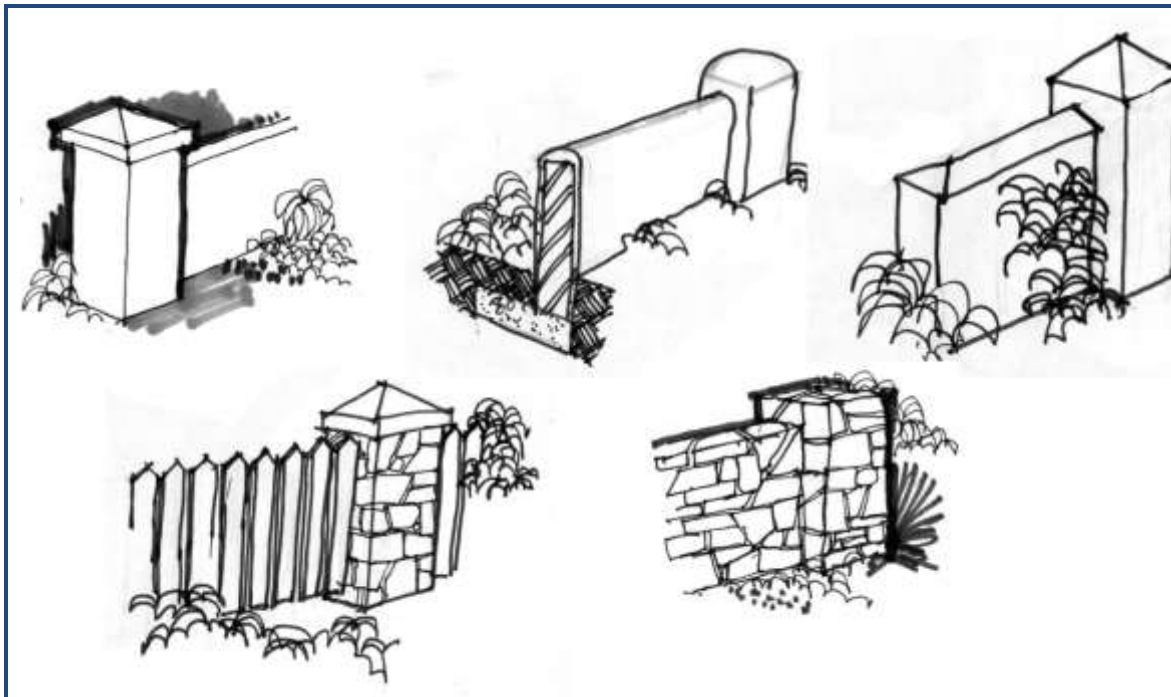
9.16.1 **Safety for children**

- 9.16.1.1 A 1m high temporary white picket fence may be erected along the waterway 1,5m from water's edge.



10.0 PIERS

- 10.1 Stone and masonry walls will have piers at gate openings.
- 10.2 Piers will match the height of the wall. Where piers are used either at gate openings or as intermediate structural supports they must occur on the erf side of the walls.





11.0 GATES

11.1 Gates will be either:

- Timber picket, or
- Solid timber – vertical panel or herringbone panelled
- Aluminium – vertical rails
- PVC make Absolute Fencing or similar approved (Rev. 17, February 2021)

11.2 Gates will not be higher than the walls or fences in which they are sited.

11.3 All vehicular gates will be subject to scrutiny by the HOA.

11.4 Timber pickets and lattice – White painted.

11.5 Aluminium – Powder coated to match window colour.

11.6 Solid timber gates – Natural timber or painted to match window colour.



12.0 JETTIES

- 12.1 All applications for new jetties as well as applications for alterations of existing jetties must first be submitted for approval by the Admiral Island HOA and subsequently submitted for final approval to the Port Owen Marina Authority (POMA). The application should be accompanied by details of the intended vessel to be moored on the jetty.
- 12.2 The jetty design must also comply to the “Port Owen Marina Authority” jetty specifications and minimum requirements. The length of any jetty shall be maximum 50% of the length of the waterfront of the stand. The owner will be required to enter into a contract with POMA. (Rev 4, Aug 2016)



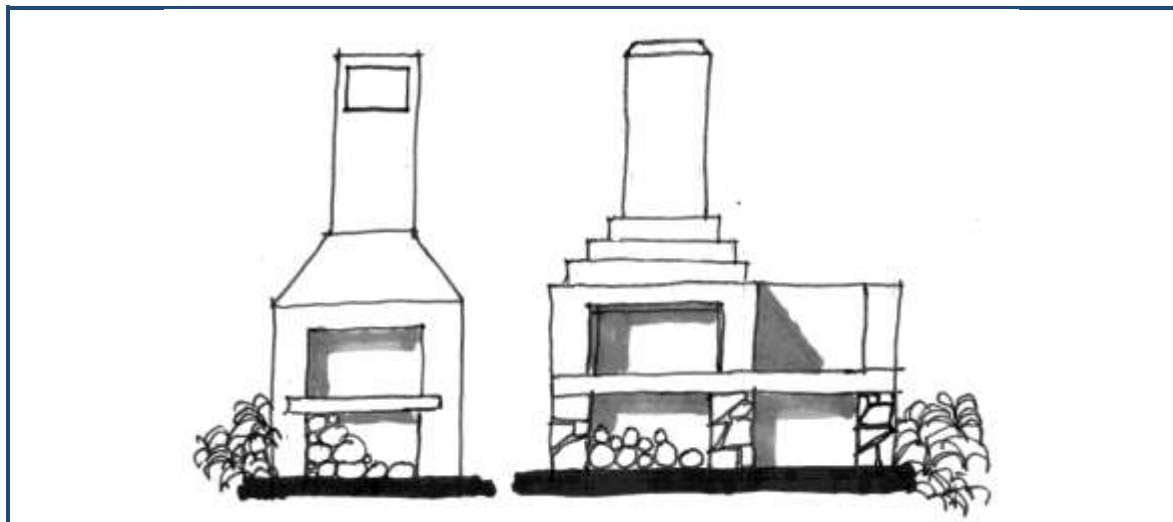


13.0 BOATS, TRAILERS AND CARAVANS

- 13.1 All boats and trailers must be parked off street. Parked boats and trailers shall be placed on owner's properties in such a way so as not to cause a nuisance. Anyone wishing to undertake major repairs on boats must inform EXCOM in writing and comply with restrictions of working hours as applicable to building operations.
- 13.2 No caravan parking is to be visible from the street.

14.0 BRAAIS

- 14.1 Braais and associated chimneys are restricted to the prescribed options.
- 14.2 Only these designs may be used for any braai.
- 14.3 All braai structures must be set back 3m from the boundary.





15.0 SWIMMING POOLS

15.1 General

- 15.1.1 Swimming pools must have a 1m setback from all boundaries.
- 15.1.2 Above ground pools, "Porta pools" or freestanding pools are not permitted.

15.2 Swimming Pool Fences

- 15.2.1 It is the owner's responsibility to ensure that swimming pool fences comply with National Building Regulations and with guideline "Boundary Walls and Fences".

15.3 Drainage

- 15.3.1.1 When being drained the water from swimming pool must be pumped into the common stormwater system. It must never be drained into the landscape or the sewer system.

15.4 Swimming Pool Pumps

- 15.4.1 Pool filtration systems and pumps must be screened with either a masonry or stone wall or timber picket fence.

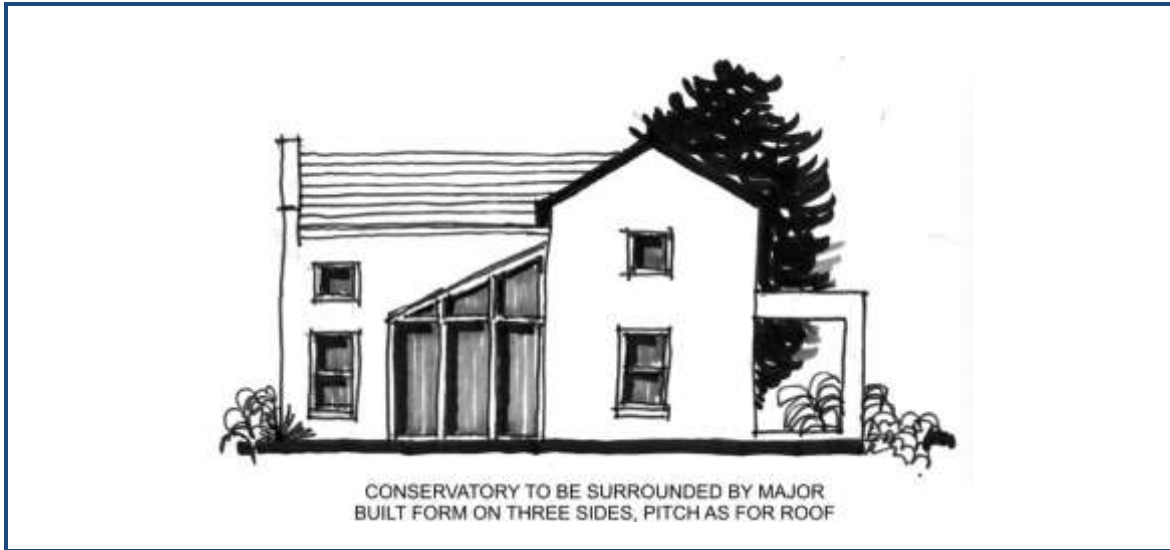


Pool pump & filters screened from view



16.0 CONSERVATORIES

- 16.1 The following retaining structures will be allowed: Conservatories with glazed roof panels will be allowed if they are surrounded by a major built form on at least three sides.



- 16.2 Typically, single panel glazing systems, with a roof pitched to match major house form and a clear storey will only be permitted. Mullions must match window frames of house.
- 16.3 Any conservatory proposal will be subject to very close scrutiny by the HOA.



17.0 PARKING, DRIVEWAYS AND WALKWAYS

17.1 Parking

17.1.1 Every erf must provide off-street parking for at least 2 cars in addition to garaging.

17.2 Driveways

17.2.1 Driveway will be a maximum of 8,0m wide at the road reserve. (Rev 8, Dec 2017)

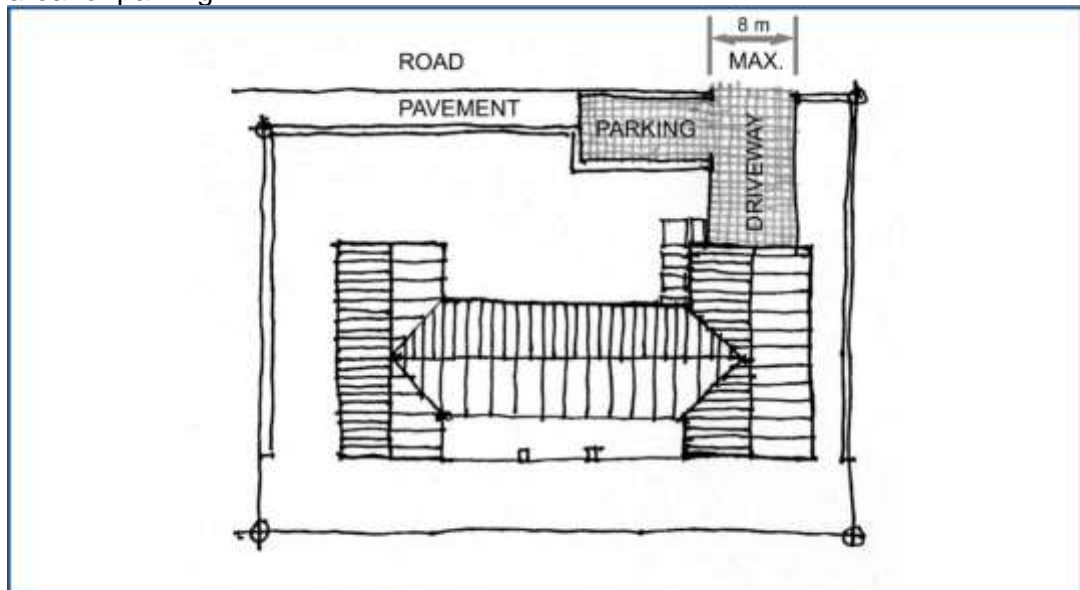
17.2.2 Homeowners will be responsible for the construction of a driveway on the street reserve.

17.2.3 All driveways to be constructed with approved clay brick pavers (Corobrik Namaqua Stone or similar approved) (Rev 16, August 2020). Grey cobblestones may be used as borders with the clay pavers to match the roads of the estate. The border may be a maximum of 4 cobblestones. (Rev. 12, June 2019)

17.2.4 Width of driveway access to road reserve to be limited to 8,0m width. (Rev 8, Dec 2017)

17.2.5 Owners may use a different paver inside the yard, provided it is not visible from the street, i.e. behind a boundary wall and non-transparent gates.

17.2.6 Owners are encouraged to move their street boundary wall back to allow for additional off street parking. In any such event, the owner may use the pavement area for parking.



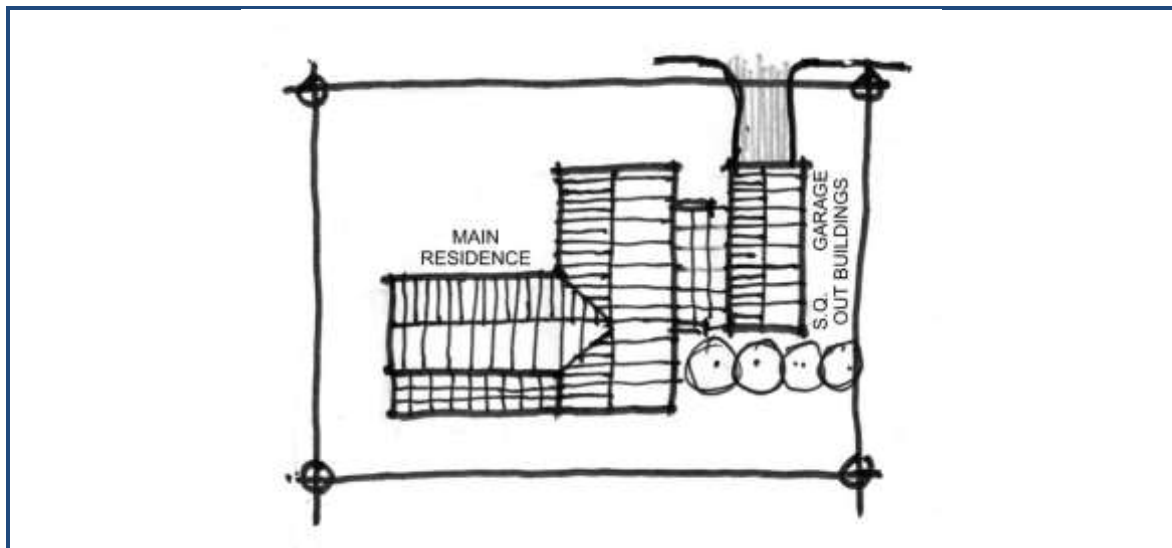
17.3 Walkways

17.3.1 All walkways to be constructed with approved clay brick pavers (Corobrik Autumn or similar approved). Grey cobblestones may be used as borders with the clay pavers to match the roads of the estate. The border may be a maximum of 4 cobblestones (Rev. 14, November 2019)



18.0 OUTBUILDINGS

- 18.1 Every Provision has been made to accommodate outbuildings.
- 18.2 Any site may incorporate an outbuilding. The outbuilding floor area will comply to municipal regulations.
- 18.3 A garage is not classed as an outbuilding.
- 18.4 A separate roofed braai area is classed as an outbuilding.
- 18.5 Outbuildings by nature are usually detached, however, may be:
 - 18.5.1 Detached and completely stand alone.
 - 18.5.2 Attached to a standalone garage.
 - 18.5.3 Semi-detached to the main dwelling by means of a verandah or pergola.
 - 18.5.4 Outbuildings will be subject to the same criteria as the main dwelling and, in case 2, subject to the criteria for a detached garage.
 - 18.5.5 Outbuildings and additions should match the original building design in style, elevation and material usage.
 - 18.5.6 No braai areas, dog kennels and covered facilities for caravans, boats or trailers are to be visible from the road or green areas and may not be placed in the side space (building lines).
 - 18.5.7 No shade netting will be allowed.



19.0 YARDS

- 19.1 Yards to be limited to a maximum area of 36m².
- 19.2 Yard walls to be maximum 2,1m in height.
- 19.3 Yard walls should be similar to the basic materials and colours of the building.



20.0 SERVICES

20.1 Satellite Dishes

- 20.1.1 Satellite dishes and TV aerials to be fitted below main building from eaves line.
- 20.1.2 Satellite dishes must be rust proof.
- 20.1.3 Aerials and satellite dishes and other exterior items to be below the roofline.

20.2 Service Pipes

- 20.2.1 Sewer and vent pipes to be concealed in vertical ducting.
- 20.2.2 Plumbing on all elevations facing street boundaries, adjoining properties waterway and open spaces as well as first floor plumbing to be concealed in wall cavities or ducts.
- 20.2.3 Stub vent stacks are recommended.
- 20.2.4 No plumbing is to be visible on any external wall.

20.3 Air Conditioners

- 20.3.1 No visible air-conditioning units allowed.
- 20.3.2 Air conditioning condenser units to be installed at ground level.
- 20.3.3 Window mounted units will not be permitted.
- 20.3.4 All pipes to be housed in ducts.

20.4 Clothes Lines

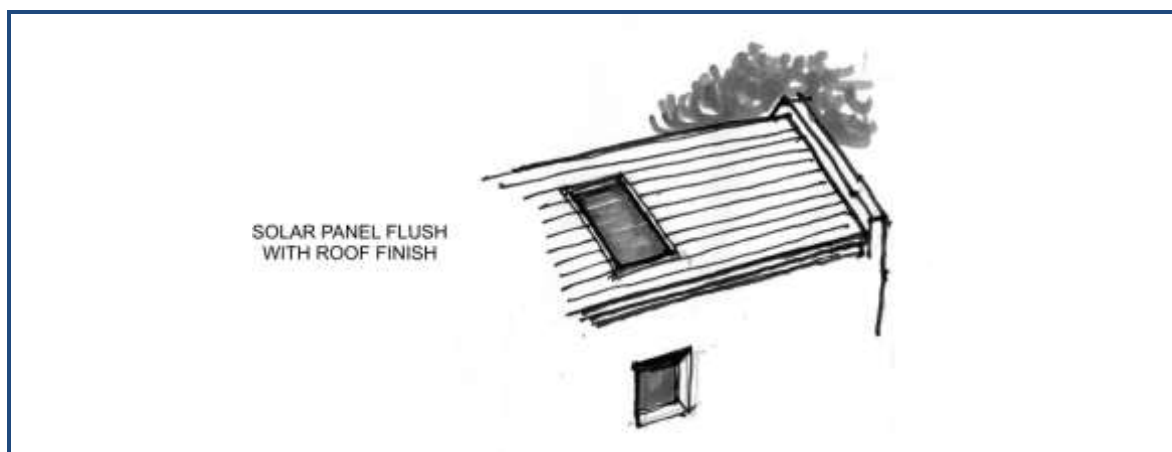
- 20.4.1 Clothes lines and refuse bins must be screened by 1.8m wall or in concealed service court.

20.5 Rainwater Tanks

- 20.5.1 The type, size and siting of all rainwater tanks will be subject to the scrutiny of the HOA.

20.6 Solar Heating

- 20.6.1 Solar panels to be at same angle and aspect as roof and all pipes concealed.
- 20.6.2 Solar heated hot water systems are encouraged.
- 20.6.3 Remote tank and solar panels must be used i.e. combined tank and panels on roof not allowed.





- 20.7 **Lighting Externally**
- 20.7.1 No external pole mounted street lamps will be allowed.
- 20.7.2 Landscape lights must be discreet and not higher than 1000mm.
- 20.7.3 External recessed ceiling mounted down lighters may be used at verandas. These must be flush mounted with veranda soffit.
- 20.7.4 Lights on exterior walls should not be bright and be placed to shine down and away from neighbours, streets and open spaces.
- 20.7.5 Lights should either, shine down, be of a hooded type design, or be behind frosted glass.
- 20.7.6 Floodlights not permitted.
- 20.7.7 Recommended exterior lights in garden to be bollard type low level lights maximum 1 000mm high.

21.0 LANDSCAPING

- 21.1 The intention in the greater landscape design and construction of the estate itself, is to preserve and protect the unique qualities of the Island.
- 21.2 Indigenous South African plants and trees are encouraged.
- 21.3 In this way the collective landscape theme of the Island will be realised for the appreciation and benefit of all.
- 21.4 **Soft Landscaping**
- 21.4.1 Planting of trees, shrubs, groundcovers and lawn will have both functional and aesthetic value, e.g. control light pollution, reduce heat, screen views in and out, deflect wind, control erosion, improve the microclimate and to reduce glare.
- 21.4.2 Admiral Island is situated on the West Coast with a dry summer climate – the correct plant choice is imperative to achieve a successful garden; the best philosophy is to work with nature and utilise the fantastic indigenous and often endemic flora found in the West Coast region.
- 21.4.3 The planting theme is therefore a West Coast Strandveld theme. As no real tall accent plants are found within the indigenous flora exotic palms (Cape Date and Washingtonia Robusta Palms) may be used to accentuate and define certain elements.
- 21.5 **Restrictions**
- 21.5.1 The gardening and landscaping activities of an erf owner shall be confined to the physical extent of the pegged residential erven plus the street reserve.
- 21.5.2 The extension of an erf's garden area into the immediately adjacent verge is obligatory. The erf owner shall be responsible for establishing and maintaining gardens/landscaping on the street verge abutting his erf. (Rev3, Jan 2016)
- 21.5.3 All declared invasive alien plants, trees, shrubs and grasses are not permitted within the estate and may not be cultivated in erf garden.
- 21.5.4 No temporary structures are permitted within the erf garden including wendy houses.



22.0 WALL COLOURS / SECOND WALL COLOURS / TRIM COLOURS

External Colours:

AQUAS
BLUE-GREYS
GREENS
CREAMS

White will not be allowed as an external colour because of the glare factor. All colours will be subject to approval by the HOA. . (Rev4, Aug 2016)

Any painted trimming (e.g. a plaster frame around a window) will be limited to 2 shades darker than the approved external colour of the house. (Rev. 14, November 2019)

Before painting of the external walls can commence a test patch of the chosen colour has to be painted on the wall which has to be approved by the HOA. (Rev. 15, January 2020)



23.0 CONTACT DETAILS AND DESIGN CRITERIA

All Sections must be completed

REGISTERED OWNER

Name

Address

Code

ERF

Sales Ref

Erf No

Area m²

ARCHITECT

Name

Address

Code

Plan

Singed

ENGINEER

Name

Address

Code

CONTACT DETAILS

Person

Tel

Fax

E-mail

Coverage & Floor Area

Coverage – m²

Floor area – m²

Allowed %	Allowed m ²	Actual %	Actual m ²
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

Roofs

Total roof

Flat / lean-to roof area % flat / lean-to roof area
(excluding open verandahs)

ARCHITECT: _____

SIGNED: _____

DATE: _____



24.0 ARCHITECTURAL SPECIFICATIONS

All sections must be completed.

	Material & Finish	Colour Name & Code
Roof		
Walls: Ground Floor		
First Floor		
Other		
Chimneys		
Window Frames		
Shutters		
Front Door		
External Door & Frames		
Garage Door/s		
Verandah: Posts / Railings		
Verandah: Floor		
Balcony		
Decks: Posts / Railings		
Pergolas		
External Staircase		
Balustrades		
Bargeboards		
Facias		
Gutters / Downpipes		
Carports		
Canopies / Awnings		
Brick Paving – Pavement		
Brick Paving – Stand		
Paving – Landscaping		

Supervision to be done by _____

Plans certified as my work and coverage and floor areas certified correct.

ARCHITECT: _____

SIGNED: _____

DATE: _____

CONTROLLING ARCHITECT: _____

SIGNED: _____

DATE: _____

PROPERTY OWNER: _____

SIGNED: _____

DATE: _____



25.0 REVISIONS

REVISION NUMBER	REVISION DATE	COMMENTS
REV 1	MAY 2012	P9 : 5.1.2.2 P30 : 9.11 P5 : 2.11
REV 2	OCTOBER 2013	P10 : 5.1.2.2 picture P8 : 4.3
REV 3	JANUARY 2016	P7 : 3.12 P42 : 21.6.2
REV 4	AUGUST 2016	P32 : 9.15 P35 : 12.2 P44 : 22.0
REV 5	JANUARY 2017	P3 : 2.4.1 Architect changed
REV 6	MARCH 2017	P8 : 4.3
REV 7	JUNE 2017	P11 : 5.1.7.4
REV 8	DECEMBER 2017	P 4 : 2.6.1 P5 : 2.17 Deleted P 11 : 5.1.3, 5.1.4 P 36 : 17.2.1, 17.2.3, 17.2.4
REV 9	MARCH 2018	P45: 24.0 Signature Controlling Architect and owner added P16: 5.2.3.1 Fascia board added as screen off
REV 10	MAY 2018	P4: New Controlling Architect
REV 11	FEBRUARY 2019	P7: 3.3 P9: 4.3 P26: 6.4
REV 12	JUNE 2019	P7: 3.3 P8: 3.6 P20: 5.2.7.3 P24: 5.5.1 P27: 5.9 P35: 11.1 P40: 17.2
REV 13	September 2019	P4: 2.5.1 (Architect address)
REV 14	November 2019	P4: 2.5.1 (Removal of a scrutinizing architect) P24: 5.5.1.5 P25: 5.6.1.4 P40: 17.3 P45: 22.0
REV 15	January 2020	P43: 22.0 P8: 3.11 P8: 3.10



		P28: 7.9
REV 16	August 2020	P22: 5.5.1.10 P23: 5.6.1.4 P23: 5.6.1.6 P38: 17.2.3
REV 17	February 2021	P9: 4.4 P24: 5.9.2.4 P26: 6.4.1 P31: 11.1